

LOT#	LOT SQM	FRONTAGE METERS	DESCRIPTION	ZONING	BAL RATING	PRICE
133	458	Cnr	Traditional Lot, Narloo Way	LDP	12.5	\$355,000

For more details, please call Gino Monaco on 0418 914 267

VISIT OUR WEBSITE [helenavalleyestate.com.au](http://helenavalleyestate.com.au)

\*BAL 12.5 if sufficient setback included, otherwise BAL 19 may apply.

If this property is marked on the DFES website ([www.dfes.wa.gov.au](http://www.dfes.wa.gov.au)) and is indicated as being in a Bush Fire prone area you are recommended to seek advice from your Builder and the Local Authority about any additional controls that may be required to develop this property.

# Helena Valley Estate

Helena Valley  
ESTATE



Gino Monaco  
0418 914 267  
gino@terranovis.com.au



All lots have a Geotech Classification of A Class and are Titled. Prices are subject to change without notice. All areas and dimensions are subject to final survey.

Fencing and landscaping rebate included. \*BAL 12.5 if sufficient setback included, otherwise BAL 19 may apply. If this property is marked on the DFES website ([www.dfes.wa.gov.au](http://www.dfes.wa.gov.au)) and is indicated as being in a Bush Fire prone area you are recommended to seek advice from your Builder and the Local Authority about any additional controls that may be required to develop this property. For more details, please call Gino Monaco on 0418914267. VISIT OUR WEBSITE [helenavalleyestate.com.au](http://helenavalleyestate.com.au)

terranovis

Local Development Plan No. 2

Lot 9500 Helena Valley Road, Helena Valley

- 1. The provisions of the Shire of Mundaring's Local Planning Scheme No. 4 and State Planning Policy 3.1 Residential Design Codes (R-Codes) are varied as detailed within this Local Development Plan.
- 2. All other requirements of the Local Planning Scheme No. 4 and the R-Codes shall be satisfied in all other manners.

Residential Design Code

- 3. As per the 'Effective R-Code Plan,' Lots 103 -125, 170 -181 shall be assessed using R30 provisions of the R-Codes with the exception of Clause 5.1.1 Site Area.

Natural Surveillance

- 4. Lots 152, 157 -177, and 181 shall provide natural surveillance to Crown Reserve 27688 by way of at least one Major Opening from a Habitable Room of the Dwelling.
- 5. Lots 101, 113, 114, 126, 151, 156, 178, 133, and 141 shall provide natural surveillance to the secondary street frontage by way of at least one Major Opening from a Habitable Room of the Dwelling.

Street Fencing

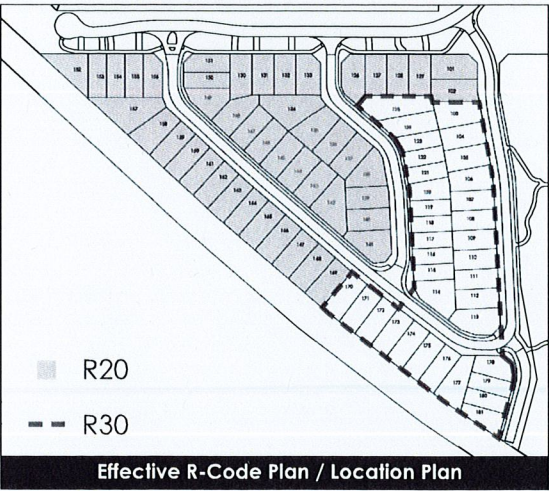
- 6. Lot boundaries shared with Crown Reserve 27688 are provided with uniform fencing by the developer. Uniform fencing is not to be altered by lot owners without Shire consent AND is required to remain Visually Permeable.
- 7. Secondary Street fencing to corner lots shall be Visually Permeable:
  - 1.5m above Natural Ground Level where existing retaining is less than 0.5m; and
  - 1.2m above Natural Ground Level where existing retaining is greater than 0.5m.

Open Space / Site Coverage

- 8. Lots 151, 150, 153 -156 may increase site coverage to a maximum of 55% subject to the provision of an Advanced Growth Tree (equivalent to 2.0 m in height and 2.0 m in diameter (canopy) OR a minimum 45 litre bag) shown on the site plan submitted for approval by the Shire.

On Boundary Walls

- 9. Lots 115 -119, 121-123, 150 -151, 153 -155, 179 -180 are permitted on boundary walls to both side lot boundaries subject to: 2/3 length to one side boundary; and 1/3 maximum length to second side boundary for wall heights 3.5m or less.



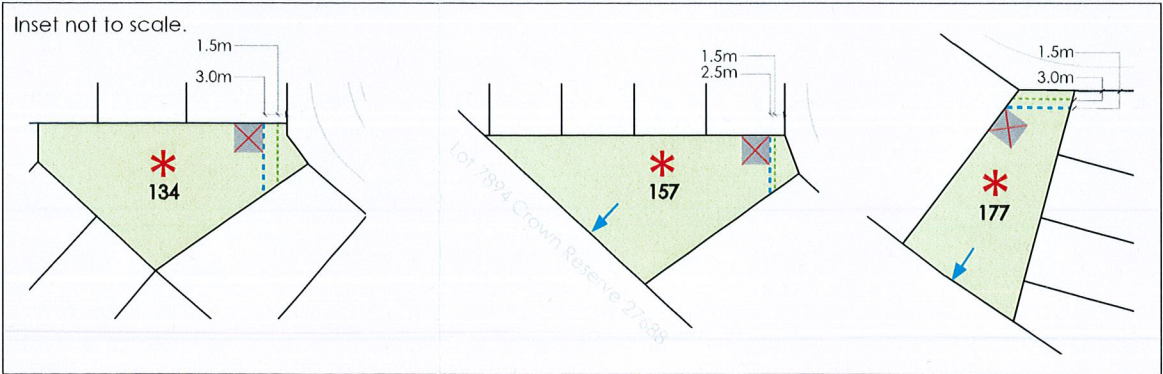
Approval

This LDP has been approved by the Shire under clause 5.17.15 of the Shire of Mundaring Local Planning Scheme No. 4.

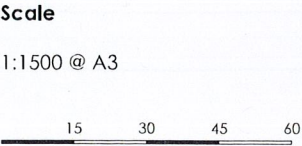
Signature: [Signature] Date: 2/10/18

Legend

- Specific LPD Provisions Applicable
- No Vehicle Access
- Designated Garage/ Carport Location
- Primary Dwelling Orientation
- Permitted Minor Protrusion Setback
- Non-Variable Dwelling (Including Garage) Setback
- 4m Average Dwelling Alignment
- Garage Width Permitted to be up to 75% for Lots 134, 157, 177
- Secondary Natural Surveillance
- Existing Trees
- Uniform Fencing Adjoining Crown Reserve



Local Development Plan  
Lots 101-181  
Lot 9500 Helena Valley Road  
Helena Valley  
Shire of Mundaring



Disclaimer

Issued for design intent only.  
All areas and dimensions are  
subject to detail design and  
survey.

APPROVED

Cadastral Information

Source: MNG  
YYMMDD: 1/11/17  
DWG Ref: 98942

Drawing

LDP\_2\_11B  
Local Development Plan

Job No.

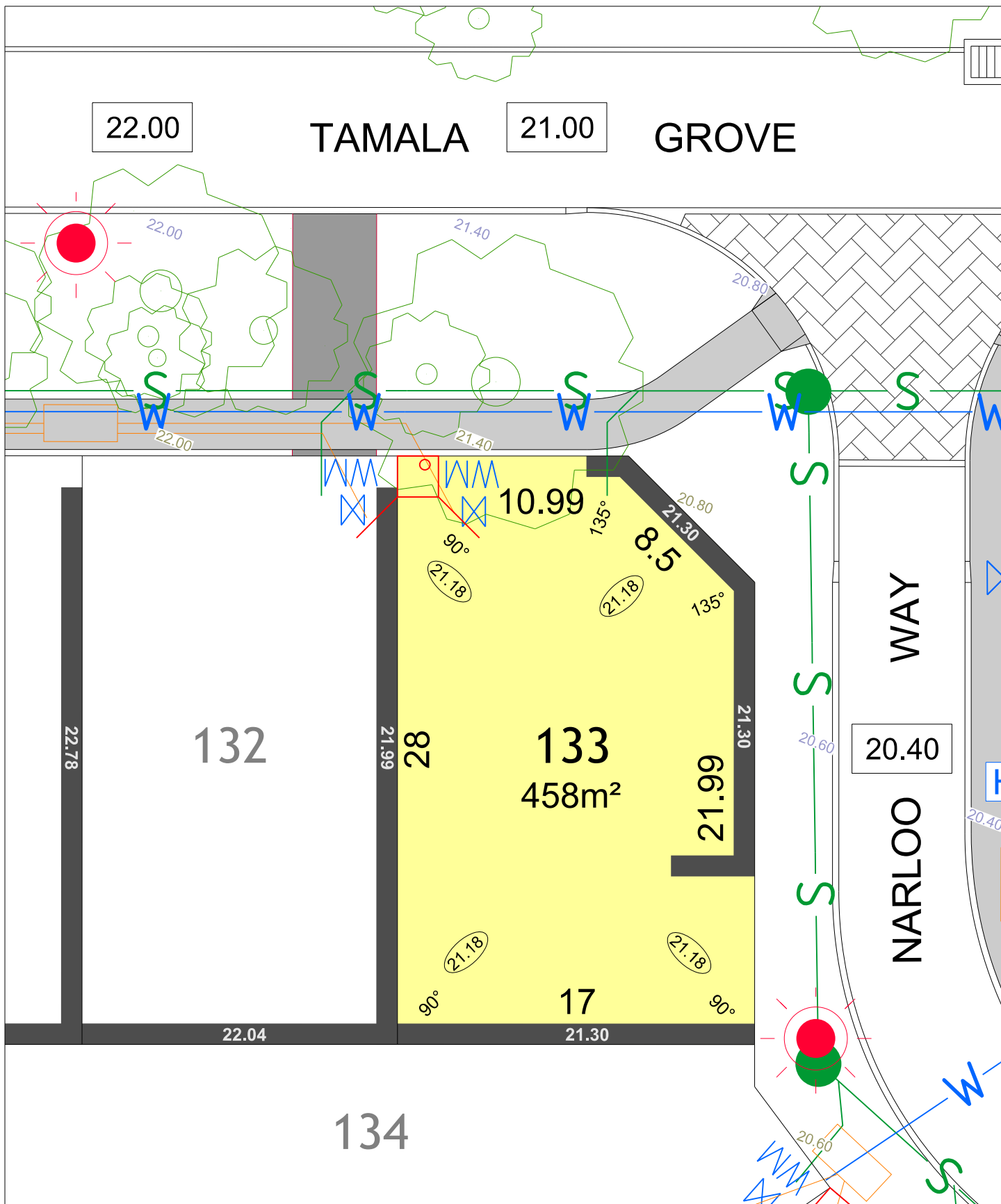
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Revision

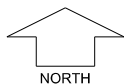
11B  
26/09/2018



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## HELENA VALLEY



SCALE 1:250

**MNG.** Ref: 98942lip-020a Date: 18/10/2018  
All dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and shall not be taken as a representation in any respect on the part of the Vendor or its agent. Authorities should be consulted when services are contained within lot boundaries as building restrictions may apply. All retaining walls and associated easements are shown exaggerated for clarity.

### LEGEND

	WATER		POWER DOME MINI PILLAR		LIMESTONE RETAINING WALL & HEIGHT		TOP OF KERB HEIGHT
	WATER METER		POWER DOME UNIVERSAL PILLAR		BIN PADS		SPOT LEVEL
	VALVE / HYDRANT		STREETLIGHTS		CROSSOVER		PAD LEVEL
	SEWER		PADMOUNT SITE		FOOTPATH		ROAD LEVEL
	DRAINAGE		SUBSOIL DRAINAGE / MANHOLE		TREE RETAINED		3M WIDE DRAINAGE EASEMENT
	NATIONAL BROADBAND NETWORK						